

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

**CONSTRUCTION STORM WATER
GENERAL CONSTRUCTION PERMIT**

FOR

**Stateline Industrial Park
Lot 2**

SECTION 15
T-1-S, R-8-W
Desoto County, MS

January 2024

IPD, LLC.

**8180 Airways BLVD
Suite B
Southaven, MS 38671
Phone: (662) 393-3346**

Storm Water Pollution Prevention Plan

Stateline Industrial Park Lot 2 Southaven, Mississippi 38671

Site Information

The site is located in Southaven, Mississippi, at the northeast corner of the intersection of Stateline Road and Tulane Road (See the Site Map attached to the NOI application).

This project consists of clearing, grubbing, and adding additional fill dirt as part of the earthwork of an undeveloped property. The work will disturb approximately 1.8 acres of the west portion of the 5.98 acres property. The site has slopes ranging from 1% to 10% that are moderately erodible.

The project property is bisected by an existing ditch with a headwater that begins in the State of Tennessee. There will be a 50 feet non disturb buffer created from the top of bank of the ditch that will lower the impact of additional fill dirt to the site. The west portion of the site drains mostly to the east to the ditch and the east portion of the property drains mostly to the west toward the ditch. The present project will be undertaken to create a site that has improved erosion control by creating a flatter slope for the property that will be more attractive by prospective buyers.

The soils for this project, according to the NRCS Soil Survey, have been identified as predominantly as Collins silt loam (adler) (Cg), Loring silty clay loam in the severely eroded strongly sloping phase (Ln), Loring silty clay loam in the severely eroded sloping phase (Lm) and an amount of gullied land, Loring soil material (Gk).

TMDL'S

1. Biological impairment due to sediment.

Action: Sediment control will be managed by temporary silt fence around disturbed area and sediment log or rock ditch checks.

2. Biological impairment due to organic enrichment/low dissolved oxygen and nutrients.

Action: Contractor shall monitor the drainage off the site for any pollutants caused from construction that could increase the maximum daily load of organic enrichment/low dissolved oxygen and nutrients.

Controls

Vegetative Controls: The existing trees and vegetation will be preserved where possible on the site including inside the 50 feet non disturb buffer, to protect the existing tree growth and to provide further sediment and erosion control. Soil stabilization, vegetative stabilization measures, must be initiated immediately whenever any clearing, grading, grubbing, or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. "Immediately" is interpreted to mean no later than the next workday. All disturbed areas will be seeded or sodded immediately upon completion of construction. Care will be taken to utilize the smallest area of disturbance. Topsoil will be stockpiled for use in landscaping.

Structural Controls

Before any construction commences on site, a stabilized construction entrance will be installed near the north property line at the existing edge of pavement on Tulane Road. Any accumulation of mud on vehicle tires will be cleaned, if needed, during muddy conditions. The Contractor shall minimize any off-site vehicle tracking of sediments. Where sediment has been tracked-out from the site onto paved roads, sidewalks, or other paved areas outside the site, remove deposited sediment "immediately" by the end of the next workday. Remove the track-out by sweeping, shoveling, or vacuuming these surfaces, or by similarly effective means of sediment removal. Hosing or sweeping track-out sediment into any stormwater conveyance, storm drain inlet, of Waters of the State is prohibited.

Silt fencing will be utilized around the perimeter of proposed disturbed areas. Silt fence will be installed outside the areas where existing vegetation is to remain. Ditch checks and culvert inlet protection will be installed to remove sediment that deposits in the ditch.

All disturbed areas will be stabilized with vegetation. Perimeter silt fence, straw wattles and any sediment control will remain in place until the areas are stabilized with grass growth.

Housekeeping Practices

All equipment maintenance and repair will be done offsite, when possible. Debris from the site will be hauled off-site. Paints, solvents, fertilizers, diesel fuel or any other potentially toxic materials will not be stored onsite. Concrete washout is prohibited on site, this should be done offsite. Accumulated sediment that has been trapped by sediment control measures at the site, in accordance with applicable maintenance requirements covered under the permit, will be disposed throughout the site.

The owner or operator shall:

- (1) minimize the exposure of building materials, building products, construction wastes, trash, landscape materials, fertilizers, pesticides, herbicides, detergents, sanitary waste and other materials present on the site to precipitation and to stormwater.
- (2) minimization of exposure is not required in cases where the exposure to precipitation and to stormwater will not result in a discharge of pollutants, or where exposure of a specific material or product poses little risk of stormwater contamination (such as final products and materials intended for outdoor use);
- (3) minimize the discharge of pollutants from spills and leaks and implement chemical spill and leak prevention and response procedures.

The contractor shall provide waste receptacles and regular collection of waste; provide adequately maintained sanitary facilities; provide protected storage areas for chemicals, paints, solvents, fertilizers, pesticides, herbicides, detergents and other potentially toxic materials; and implement spill and leak prevention practices and response procedures if spills and leaks do occur; minimize the exposure of building materials, building products, construction wastes, trash and landscape materials.

The contractor shall provide a description of procedures for:

- (A) Sweeping or removal of sediment and other debris that has been tracked from the site or deposited from the site onto streets and other paved surfaces;
- (B) Removal of sediment or other pollutants that have accumulated in or near any sediment control measures, storm water conveyance channels, storm drain inlets, or water course conveyance within the construction site.
- (C) Removal of accumulated sediment that has been trapped by sediment control measures at the site, in accordance with applicable maintenance requirements covered under this permit. The owner or operator shall also provide a description of the procedures for handling and disposing of wastes generated at the site, including, but not limited to, clearing and demolition debris, sediment removed from the site, construction and domestic waste, hazardous or toxic waste, and sanitary waste.

Prior to any activity, the following information will be posted on site: the name and telephone number of the local contact person, a copy of the Notice of Coverage, a brief description of the site and the location of the SWPPP, if it cannot be kept on site.

Construction Implementation Sequence

1. Install construction egress prior to any clearing and grubbing.
2. Install silt fence along outside perimeter of vegetation to remain.
3. Install ditch checks in the existing ditch.
4. Begin fill earthwork operations, disturbing small areas as needed.
5. Stockpile topsoil and protect the stockpile perimeter with silt fence.
6. Finish cut and fill slopes, roughen and vegetate.
7. After areas are stabilized, remove temporary sediment controls.

Inspections and Maintenance

Inspections will be documented and include the scope of the inspection, name(s) of the inspection, major observations relating to the escape of any storm water pollutants from the site and of any control device that failed to operate as designed (or proved inadequate for a particular location), and actions taken based on the results of the inspection. Inspections will be performed at least twice every week, with the inspections occurring at least 72 hours apart. Inspections are required for the entire project weekly with a minimum of 4 and after rainfall events that produce a discharge. All sediment control measures will be inspected before anticipated storm events, daily during prolonged events, and within 24 hours after the end of any storm event that produces a stormwater discharge. Any poorly functioning erosion controls or sediment controls, non-compliant discharges, or any other deficiencies observed during the inspections required under this permit shall be corrected within 24 hours of the inspection unless prevented by unsafe weather conditions as documented on the inspection form.

A rain gauge and daily rainfall records will be maintained on the site.

Sediment will be removed from all Erosion Protection and Sediment Controls (EPSC's) when the design capacity has been reduced by 50% and when structure BMP's have reached 1/3 to 1/2 height of the control. Sediment removal will be monitored to avoid damage to the silt fence. Any litter and construction debris will be picked up prior to anticipate storm events to eliminate pollution into any downstream systems. Also, once the sediment control measures are no longer needed, they will be removed from the site to prevent any possible pollution by those materials.

All required maintenance and weekly inspections will meet or exceed the requirements of the Large Construction Storm Water General Permit.

Training and Documentation

A "Stormwater team" will be assembled to carry out compliance activities associated with the requirements in this permit. Prior to construction, the permittee will ensure the personnel on the stormwater team understand the requirements of this permit and their specific responsibilities.

- (1) Personnel who are responsible for the design, installation, maintenance, and/or repair of stormwater controls (including pollution prevention controls);*
- (2) Personnel responsible for the application and storage of treatment chemicals (if applicable)*
- (3) Personnel who are responsible for conducting inspections as required in ACT6, S-5; and*
- (4) Personnel who are responsible for taking corrective actions as required in ACT6, S-2.*

Each member of the stormwater team must have easy access to an electronic or paper copy of applicable portions of this permit, the most updated copy of the SWPPP, and other relevant documents or information that must be kept with the SWPPP.

Staff training conducted to meet the SWPPP requirements will be documented. Training records shall include employee's name, date of training, brief content/nature of training, and the employee's signature acknowledging training was received. Documentation can be logged on training document at www.mdeq.ms.gov/construction-stormwater/. Employee training documentation will be maintained on-site with the SWPPP and made available to MDEQ personnel for inspection upon request.

Records and Reporting

The inspections will be made as required by the permit and reported on copies of the form provided for that purpose. The report forms will be submitted upon request to the MDEQ. The following records will be maintained on site: the date(s) when major grading activities occur, the date(s) when construction activities temporarily or permanently cease on a portion of the site, the date(s) when stabilization measures are initiated, and inspection records. Permittees will maintain a rain gauge and daily rainfall records at the site or use a reference site for a record of daily amount of precipitation. The permittees will also certify on a weekly basis that the biweekly inspections were performed and to check all planned and designed sediment control measures are installed and in working order. The permittees will retain copies of the Storm Water Pollution Prevention Plan and all reports required by the permit, including inspection and rainfall records, and records of all data used to complete the Notice of Intent to covered by this permit for a period of at least three years from the date the Notice of Termination is filed.

Post-Construction Measures

Upon completion of the project, all disturbed areas shall be stabilized as appropriate for the disturbance. All areas that have been stabilized by vegetation will have the temporary ESPCs removed. The removal of temporary BMPs is driven by the evaluation of whether sufficient reestablishment of vegetation and other measures used to minimize erosion and sedimentation have been met. Temporary BMPs may require removal in stages depending on their intended use. Once an area is revegetated, the silt fencing will be removed. Small check dams can be installed during silt fence removals that will continue to serve as sediment protection and will eventually become revegetated as they fill with sediment. If excessive sediment still exists for an extended time after construction activities are completed requiring silt fencing to remain, the upgradient erosion problem should be readdressed and remediated.

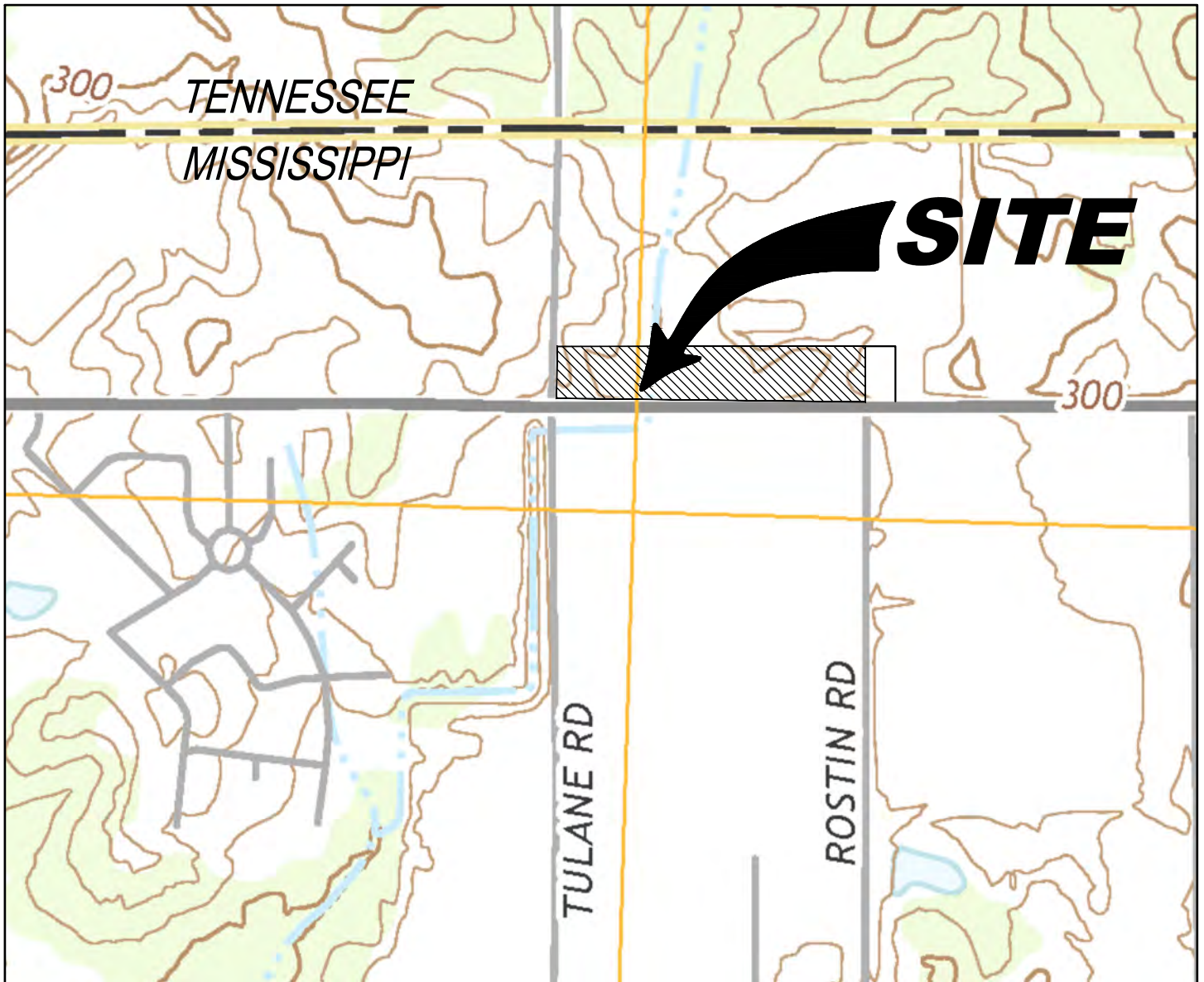
Drawings/Attachments

1. Site Map
2. Drainage Map
3. Stormwater Pollution Prevention Plan
4. Erosion Control Details
5. Will Serve Letter from Southaven for Water and Sewer

6. NRCS Web Soil Survey Information
7. Large Construction Notice of Intent (LCNOI)
8. Prime Contractor Certification
9. Site Inspection and Certification Form
10. Request for Termination (RFT) of Coverage

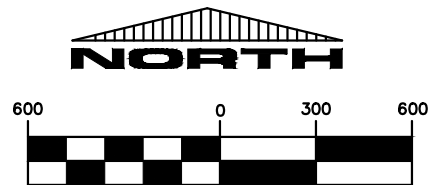
Notice of Termination

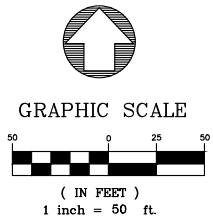
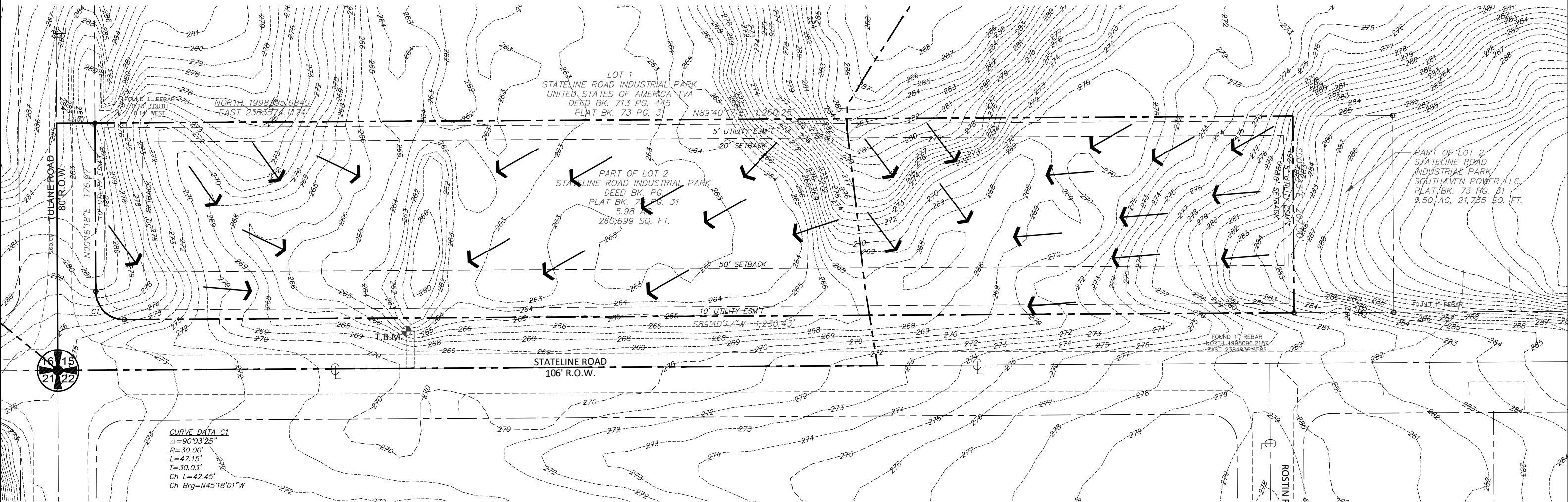
When the site has been stabilized and all storm water discharges from construction activities authorized by the permit are eliminated, the permittees will submit a Request for Termination (RFT) of Coverage in accordance with the requirements of the N.P.D.E.S. permit.



Site Map
STATELINE INDUSTRIAL PARK
LOT 2
Southaven, MS 38671

Prepared By:
IPD, LLC
8180 AIRWAYS BLVD, Suite B
Southaven, MS 38671





THE GRAPHIC SCALE IS CORRECT FOR A PLAN SHEET OF 11 X 17. IF THE PLAN SHEET IS ANOTHER SIZE, PLEASE SCALE ACCORDINGLY.

**STATELINE INDUSTRIAL PARK
LOT 2**

DEVELOPER: PREWETT SERVICES, LLC
ENGINEER: IPD, LLC

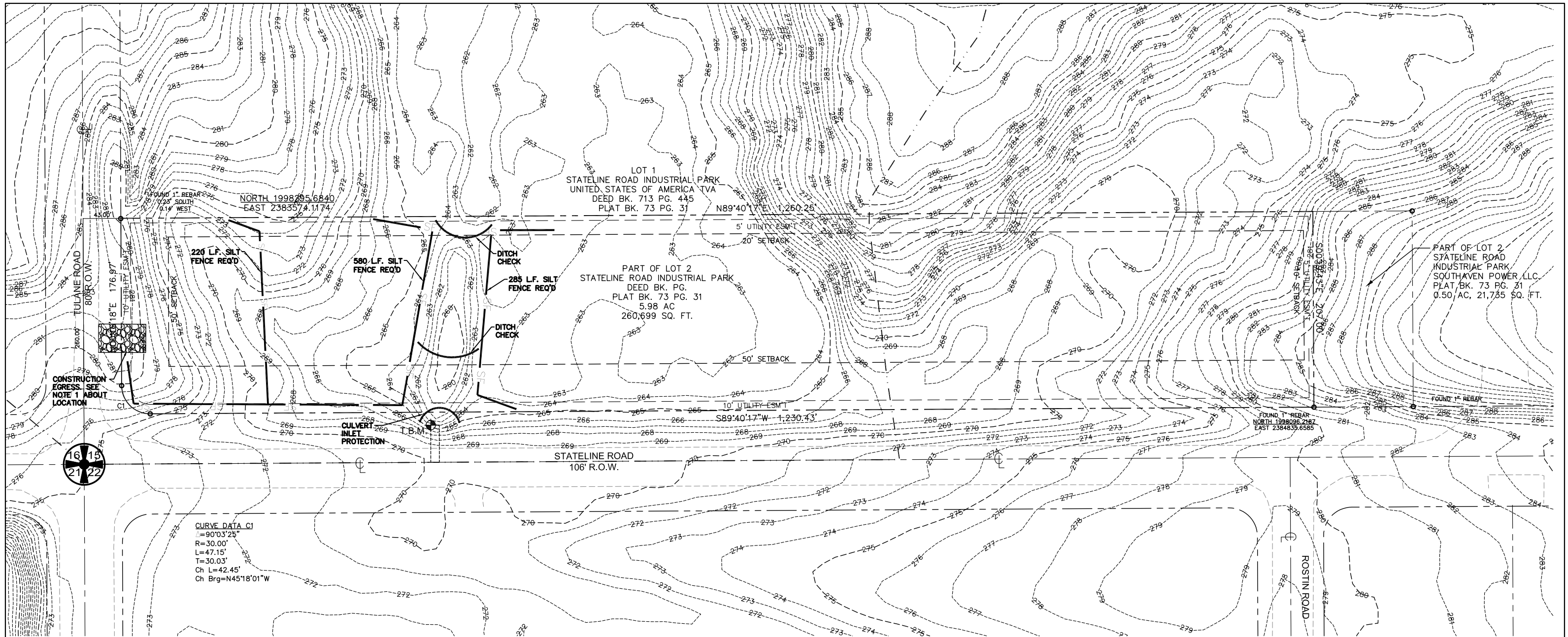
SHEET 1 OF 1
SOUTHAVEN, DESOTO COUNTY, MISSISSIPPI

DRAINAGE MAP

SURVEY: IPD	DATE:	PROJECT NO.:
DESIGN BY:	DATE:	BOOK:
DRAWN BY:	DATE:	SCALE: 1" = 50'

REVIEWED

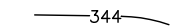
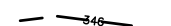
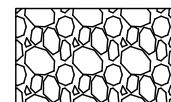
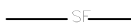


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EROSION CONTROL NOTES:

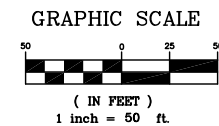
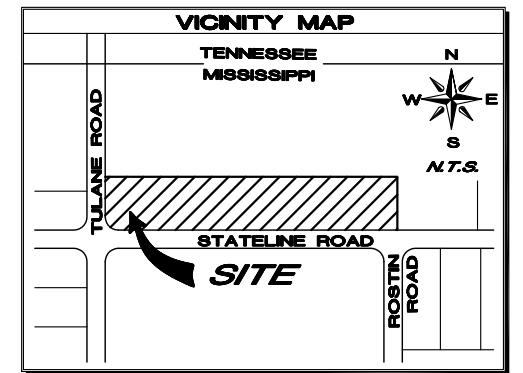
1. THE CONSTRUCTION EGRESS IS SHOWN AS A GRAPHIC REPRESENTATION ONLY. CONTRACTOR SHALL PROVIDE A CONSTRUCTION EGRESS AT A LOCATION APPROVED BY THE OWNER.
2. THE CONTRACTOR SHALL NOTIFY THE CITY STORMWATER COORDINATOR BEFORE COMMENCING ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES AND/OR SEDIMENT LOGS WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY GOVERNING AGENCY.
4. ALL EROSION PROTECTION OR SEDIMENT CONTROL MEASURES SHOWN SHALL BE USED AS REQUIRED BY CONSTRUCTION ACTIVITY OR CONSTRUCTION PHASING TO ADEQUATELY PROTECT DOWNSTREAM DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES.
5. ALL NEW CUT OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED, MULCHED, SEEDED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
6. SEDIMENT SHOULD BE REMOVED AND DISPOSED OF PROPERLY WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE AND PRIOR TO THE FINAL REMOVAL OF THE CONTROL.
7. INSPECTION OF THE EROSION CONTROL MEASURE SHALL BE MADE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND AFTER A HALF-INCH RAIN EVENT AS PROVIDED AS PART OF THIS SWPPP.
8. WHEN A DISTURBED AREA WILL BE LEFT UNDISTURBED FOR FIVE DAYS OR MORE, THE APPROPRIATE TEMPORARY OR PERMANENT VEGETATIVE PRACTICES SHALL BE IMPLEMENTED WITHIN FIVE CALENDAR DAYS.
9. THE AREA OF DISTURBANCE FOR THIS PROJECT IS APPROXIMATELY 1.8 ACRES.

LEGEND

-  PROPOSED CONTOUR
-  EXISTING CONTOUR
-  CONSTRUCTION EGRESS
-  SILT FENCE REQUIRED
-  SEDIMENT LOG OR ROCK DITCH CHECK
-  SEDIMENT LOG CULVERT INLET PROTECTION

I.B.M.
 THE PROJECT BENCHMARK IS THE TOP OF THE NORTHWEST CORNER OF AN EXISTING BOX CULVERT AT NEARLY 300 FEET EAST OF THE SOUTHWEST PROPERTY CORNER.
 ELEVATION: 263.44 [N-1998077.15, E-2383901.96]

SPECIAL FLOOD HAZARD STATEMENT
 BY GRAPHIC DETERMINATION, THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA PER FEMA/FIRM MAP NUMBER 28033C0056G, DESOTO COUNTY, MISSISSIPPI, EFFECTIVE DATE OF JUNE 4, 2007.



THE GRAPHIC SCALE IS CORRECT FOR A PLAN SHEET OF 24 X 36. IF THE PLAN SHEET IS ANOTHER SIZE, PLEASE SCALE ACCORDINGLY.

**STATELINE INDUSTRIAL PARK
 LOT 2**
 DEVELOPER: PREWETTT HOLDINGS, LLC
 ENGINEER: IPD, LLC

SHEET 1 OF 1
 SOUTHAVEN, DESOTO COUNTY, MISSISSIPPI

**STORMWATER POLLUTION PREVENTION PLAN
 @ STATELINE ROAD AND TULANE ROAD**

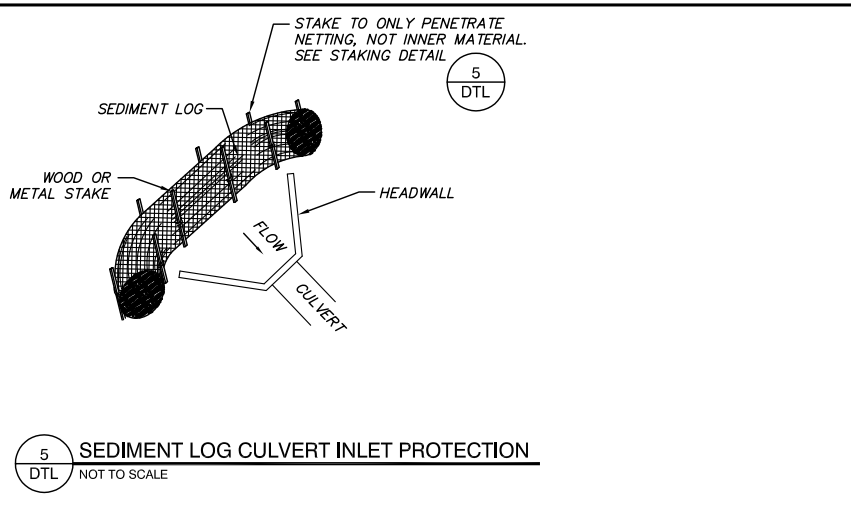
DESIGN BY: IPD
 DRAWN BY:

DATE:
 DATE:

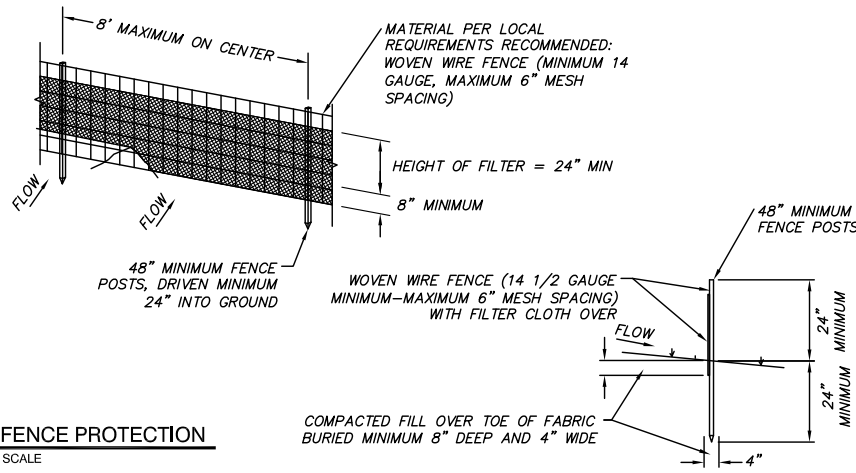
PROJECT NO.:
 BOOK:
 SCALE: 1" = 50'

REVIEWED

CITY ENGINEER **ECP**



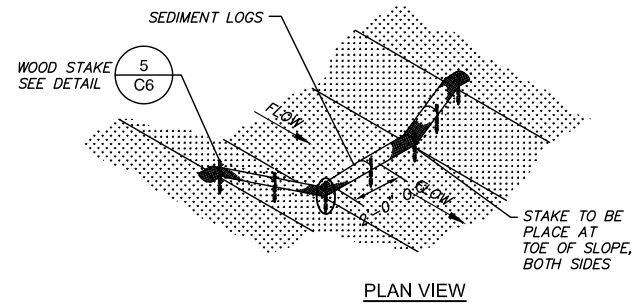
5 DTL NOT TO SCALE
SEDIMENT LOG CULVERT INLET PROTECTION



3 DTL NOT TO SCALE
SILT FENCE PROTECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION.
3. WHEN TWO SECTIONS OR FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY (6) INCHES AND FOLDED.
4. LOCATE POSTS DOWNSLOPE OF FABRIC FOR FENCE SUPPORT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 POSTS: STEEL EITHER "T" OR "U" TYPE
 POSTS: LOCATED MAXIMUM 8' OC
 FENCE: PER LOCAL REQUIREMENTS OR WOVEN WIRE, 14 GA 6" MAX MESH OPENING
 FILTER CLOTH: FILTER X, MIRAFI 100X, STABI-LINKA T140N OR APPROVED EQUAL.
 PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.
6. INDICATED ON EROSION CONTROL PLANS AS " ——— SF ——— ".



4 DTL NOT TO SCALE
SEDIMENT LOGS W/O BLANKET (IF NEEDED)

$$\left[\frac{\text{DISTANCE BETWEEN CHANNEL BOTTOM AND TOP OF INSTALLED SEDIMENT LOGS (D)(ft)}}{\text{CHANNEL GRADIENT } (\%)} \right] \times 100 = \text{SEDIMENT LOGS SPACING (ft)}$$

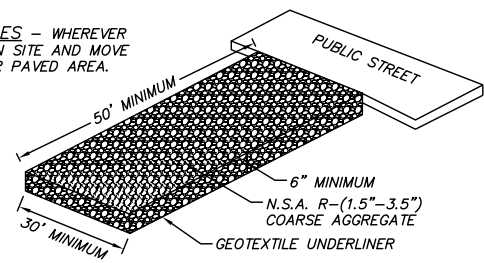
PLACEMENT INTERVAL OF SEDIMENT LOGS

NOTES:
 1. 1 1/2" x 1 1/2" x 30" WOODEN STAKES ARE RECOMMENDED FOR 6", 9", AND 12" SEDIMENT LOGS.

DEFINITION — A STONE STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE — TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.

CONDITIONS WHERE PRACTICE APPLIES — WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVE DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA.



1 DTL NOT TO SCALE
CONSTRUCTION EGRESS

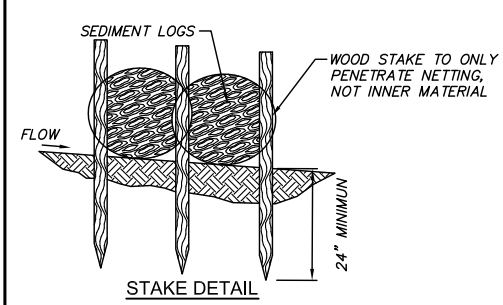
PLANNING CONSIDERATIONS — GENERAL CRITERIA REQUIRES THAT ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH DAY. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM CONSTRUCTION VEHICLE TIRES BEFORE THEY ENTER A PUBLIC ROAD. IF THE ACTION OF VEHICLE TRAVELING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE. CONSTRUCTION ENTRANCES SHOULD BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES.

DESIGN CRITERIA

1. AGGREGATE SIZE — TDOT AGGREGATE NO.1 (2-3 INCH STONE) SHOULD BE USED.
2. ENTRANCE DIMENSIONS — THE AGGREGATE LAYER MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET.
3. WASHING — IF CONDITIONS ON THE SITE ARE SUCH THAT THE MAJORITY OF THE MUD IS NOT REMOVED BY THE VEHICLES TRAVELING OVER THE GRAVEL, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM THE ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
4. LOCATION — THE ENTRANCE SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.

CONSTRUCTION SPECIFICATIONS — THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE GRAVEL SHALL BE PLACED TO THE SPECIFIED DIMENSIONS. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO SPECIFICATIONS. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

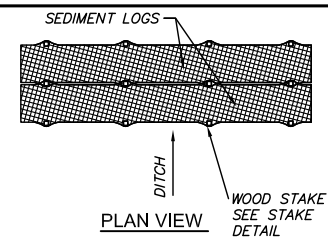
MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANEST OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORMDRAINS MUST BE REMOVED IMMEDIATELY.



2 DTL NOT TO SCALE
SEDIMENT LOG STAKING DETAIL

THE GRAPHIC SCALE IS CORRECT FOR A PLAN SHEET OF 24 X 36. IF THE PLAN SHEET IS ANOTHER SIZE, PLEASE SCALE ACCORDINGLY.

STATELINE INDUSTRIAL PARK LOT 2
 DEVELOPER: PREWETT HOLDINGS, LLC
 ENGINEER: IPD, LLC



SHEET 1 OF 1

EROSION CONTROL DETAILS
 @ STATELINE ROAD AND TULANE ROAD

SURVEY: DATE: PROJECT NO.:
 DESIGN BY: DATE: BOOK:
 DRAWN BY: DATE: SCALE: N.T.S.

REVIEWED

CITY ENGINEER **DTL**



City of Southaven
"Top" of Mississippi
Utility Department

22 December 2023

Chief Stormwater Branch
401/Stormwater Branch
Environmental Permits Division
Mississippi Department of Environmental Quality
P.O. Box 2261
Jackson, Mississippi 39225-2261

REFERENCE: STATELINE INDUSTRIAL PARK (PART OF LOT 2)

Dear Sirs:

This letter is to advise your office that the City of Southaven has reviewed the area described for the proposed development, STATELINE INDUSTRIAL PARK (PART OF LOT 2), and will provide collection and treatment for the wastewater flows generated by the proposed referenced 6-acre development. The proposed development is within the City's service area and we have the capacity necessary for the proposed flows. The flows are estimated not to exceed 2400 gpd average daily flow and 7200 gpd peak flow. The developer will be responsible for designing and installing the collector system and any other plant or material necessary as approved by the City of Southaven.

Please call me at 662-796-2489 if you have any questions or need additional information.

Sincerely,

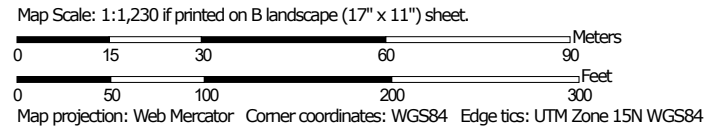
Ray Humphrey
Utilities Director

CC: Permit File
Dan Cordell, City Engineer
Whitney Choat-Cook, Development Director
Jamey Jones, Plans Review

Soil Map—DeSoto County, Mississippi
(Stateline Industrial Park)



Soil Map may not be valid at this scale.



Soil Map—DeSoto County, Mississippi
(Stateline Industrial Park)


MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: DeSoto County, Mississippi

Survey Area Data: Version 22, Sep 9, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jan 27, 2023—Mar 15, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Cg	Collins silt loam (adler)	3.8	63.9%
Gk	Gullied land, Loring soil material	0.5	8.5%
Lm	Loring silty clay loam, severely eroded sloping phase	0.7	11.5%
Ln	Loring silty clay loam, severely eroded strongly sloping phase	1.0	16.1%
Totals for Area of Interest		6.0	100.0%

AI : 85630

Coverage #:
MSR109174

Rec'd via email:
01/04/2024



MISSISSIPPI DEPARTMENT OF
ENVIRONMENTAL QUALITY

LARGE CONSTRUCTION NOTICE OF INTENT (LCNOI) FOR COVERAGE UNDER THE LARGE CONSTRUCTION STORM WATER GENERAL NPDES PERMIT

INSTRUCTIONS

The Large Construction Notice of Intent (LCNOI) is for coverage under the Large Construction General Permit for land disturbing activities of five (5) acres or greater; or for land disturbing activities, which are part of a larger common plan of development or sale that are initially less than five (5) acres but will ultimately disturb five (5) or more acres. Applicant must be the owner or operator. For construction activities, the operator is typically the prime contractor. The owner(s) of the property and the prime contractor associated with regulated construction activity on the property have joint and severable responsibility for compliance with the Large Construction Storm Water General Permit MSR10.

If the company seeking coverage is a corporation, a limited liability company, a partnership, or a business trust, attach proof of its registration with the Mississippi Secretary of State and/or its Certificate of Good Standing. This registration or Certificate of Good Standing must be dated within twelve (12) months of the date of the submittal of this coverage form. Coverage will be issued in the company name as it is registered with the Mississippi Secretary of State.

Completed LCNOIs should be filed at least thirty (30) days prior to the commencement of construction. Discharge of storm water from large construction activities without written notification of coverage is a violation of state law.

Submittals with this LCNOI must include:

- A site-specific Storm Water Pollution Prevention Plan (SWPPP) developed in accordance with ACT5 of the General Permit
- A detailed site-specific scaled drawing showing the property layout and the features outlined in ACT5 of the General Permit
- A United States Geological Survey (USGS) quadrangle map or photocopy, extending at least one-half mile beyond the facility property boundaries with the site location and outfalls outlined or highlighted. The name of the quadrangle map must be shown on all copies. Quadrangle maps can be obtained from the MDEQ, Office of Geology at 601-961-5523.

Additional submittals may include the following, if applicable:

- Appropriate Section 404 documentation from U.S. Army Corps of Engineers
- Appropriate documentation concerning future disposal of sanitary sewage and sewage collection system construction
- Appropriate documentation from the MDEQ Office of Land & Water concerning dam construction and low flow requirements
- Approval from County Utility Authority in Hancock, Harrison, Jackson, Pearl River and Stone Counties
- Antidegradation report for disturbance within Waters of the State

ALL QUESTIONS MUST BE ANSWERED (Answer "NA" if the question is not applicable)

O.C

APPLICANT IS THE: **OWNER** **PRIME CONTRACTOR**

OWNER CONTACT INFORMATION

OWNER CONTACT PERSON: _____
OWNER COMPANY LEGAL NAME: _____
OWNER STREET OR P.O. BOX: _____
OWNER CITY: _____ **STATE:** _____ **ZIP:** _____
OWNER PHONE #: (____) _____ **OWNER EMAIL:** _____

PREPARER CONTACT INFORMATION

IF NOI WAS PREPARED BY SOMEONE OTHER THAN THE APPLICANT

CONTACT PERSON: _____
COMPANY LEGAL NAME: _____
STREET OR P.O. BOX: _____
CITY: _____ **STATE:** _____ **ZIP:** _____
PHONE # () _____ **EMAIL:** _____

PRIME CONTRACTOR CONTACT INFORMATION

PRIME CONTRACTOR CONTACT PERSON: _____
PRIME CONTRACTOR COMPANY LEGAL NAME: _____
PRIME CONTRACTOR STREET OR P.O. BOX: _____
PRIME CONTRACTOR CITY: _____ **STATE:** _____ **ZIP:** _____
PRIME CONTRACTOR PHONE #: (____) _____ **PRIME CONTRACTOR EMAIL:** _____

FACILITY SITE INFORMATION

FACILITY SITE NAME: _____

FACILITY SITE ADDRESS (If the physical address is not available, please indicate the nearest named road. For linear projects indicate the beginning of the project and identify all counties the project traverses.)

STREET: _____
CITY: _____ **STATE:** _____ **COUNTY:** _____ **ZIP:** _____

FACILITY SITE TRIBAL LAND ID (N/A If not applicable): _____

LATITUDE: ____ degrees ____ minutes ____ seconds **LONGITUDE:** ____ degrees ____ minutes ____ seconds

LAT & LONG DATA SOURCE (GPS (Please GPS Project Entrance/Start Point) or Map Interpolation): _____

TOTAL ACREAGE THAT WILL BE DISTURBED ¹: _____

IS THIS PART OF A LARGER COMMON PLAN OF DEVELOPMENT? YES NO

IF YES, NAME OF LARGER COMMON PLAN OF DEVELOPMENT: _____
AND PERMIT COVERAGE NUMBER: MSR10 _____

ESTIMATED CONSTRUCTION PROJECT START DATE: _____
 YYYY-MM-DD

ESTIMATED CONSTRUCTION PROJECT END DATE: _____
 YYYY-MM-DD

DESCRIPTION OF CONSTRUCTION ACTIVITY: _____

PROPOSED DESCRIPTION OF PROPERTY USE AFTER CONSTRUCTION HAS BEEN COMPLETED:

SIC Code: _____ **NAICS Code** _____

NEAREST NAMED RECEIVING STREAM: _____

IS RECEIVING STREAM ON MISSISSIPPI'S 303(d) LIST OF IMPAIRED WATER BODIES? (The 303(d) list of impaired waters and TMDL stream segments may be found on MDEQ's web site: http://www.deq.state.ms.us/MDEQ.nsf/page/TWB_Total_Maximum_Daily_Load_Section) YES NO

HAS A TMDL BEEN ESTABLISHED FOR THE RECEIVING STREAM SEGMENT? YES NO

FOR WHICH POLLUTANT:

ARE THERE RECREATIONAL STREAMS, PRIVATE/PUBLIC PONDS OR LAKES WITHIN ½ MILE DOWNSTREAM OF PROJECT BOUNDARY THAT MAY BE IMPACTED BY THE CONSTRUCTION ACTIVITY? YES NO

EXISTING DATA DESCRIBING THE SOIL (for linear projects please describe in SWPPP):

WILL FLOCCULANTS BE USED TO TREAT TURBIDITY IN STORM WATER? YES NO

IF YES, INDICATE THE TYPE OF FLOCCULANT. ANIONIC POLYACRYLIMIDE (PAM)
 OTHER _____

IF YES, DOES THE SWPPP DESCRIBE THE METHOD OF INTRODUCTION, THE LOCATION OF INTRODUCTION AND THE LOCATION OF WHERE FLOCCULATED MATERIAL WILL SETTLE?

IS A SDS SHEET INCLUDED FOR THE FLOCCULATE? YES NO

WILL THERE BE A 50 FT BUFFER BETWEEN THE PROJECT DISTURBANCE AND THE WATERS OF THE STATE? YES NO

IF NOT, PROVIDE EQUIVALENT CONTROL MEASURES IN THE SWPPP.

¹Acreage for subdivision development includes areas disturbed by construction of roads, utilities and drainage. Additionally, a housesite of at least 10,000 ft² per lot (entire lot, if smaller) shall be included in calculating acreage disturbed.

DOCUMENTATION OF COMPLIANCE WITH OTHER REGULATIONS/REQUIREMENTS
 COVERAGE UNDER THIS PERMIT WILL NOT BE GRANTED UNTIL ALL OTHER REQUIRED
 MDEQ PERMITS AND APPROVALS ARE SATISFACTORILY ADDRESSED

IS LCNOI FOR A FACILITY THAT WILL REQUIRE OTHER PERMITS? YES NO

IF YES, CHECK ALL THAT APPLY: AIR HAZARDOUS WASTE PRETREATMENT
 WATER STATE OPERATING INDIVIDUAL NPDES OTHER: _____

IS THE PROJECT REROUTING, FILLING OR CROSSING A WATER CONVEYANCE OF ANY KIND? (If yes, contact the U.S. Army Corps of Engineers' Regulatory Branch for permitting requirements.) YES NO

IF THE PROJECT REQUIRES A CORPS OF ENGINEER SECTION 404 PERMIT, PROVIDE APPROPRIATE DOCUMENTATION THAT:

- The project has been approved by individual permit, or
- The work will be covered by a nationwide permit and NO NOTIFICATION to the Corps is required, or
- The work will be covered by a nationwide or general permit and NOTIFICATION to the Corps is required

IS THE PROJECT REROUTING, FILLING OR CROSSING A STATE WATER CONVEYANCE OF ANY KIND? (If yes, please provide an antidegradation report.) YES NO

IS A LAKE REQUIRING THE CONSTRUCTION OF A DAM BEING PROPOSED? (If yes, provide appropriate approval documentation from MDEQ Office of Land and Water, Dam Safety.) YES NO

IF THE PROJECT IS A SUBDIVISION OR A COMMERCIAL DEVELOPMENT, HOW WILL SANITARY SEWAGE BE DISPOSED? Check one of the following and attach the pertinent documents.

- Existing Municipal or Commercial System. Please attach plans and specifications for the collection system and the associated "Information Regarding Proposed Wastewater Projects" form or approval from County Utility Authority in Hancock, Harrison, Jackson, Pearl River and Stone Counties. If the plans and specifications can not be provided at the time of LCNOI submittal, MDEQ will accept written acknowledgement from official(s) responsible for wastewater collection and treatment that the flows generated from the proposed project can and will be transported and treated properly. The letter must include the estimated flow.
- Collection and Treatment System will be Constructed. Please attach a copy of the cover of the NPDES discharge permit from MDEQ or indicate the date the application was submitted to MDEQ (Date: _____.)
- Individual Onsite Wastewater Disposal Systems for Subdivisions Less than 35 Lots. Please attach a copy of the Letter of General Acceptance from the Mississippi State Department of Health or certification from a registered professional engineer that the platted lots should support individual onsite wastewater disposal systems.
- Individual Onsite Wastewater Disposal Systems for Subdivisions Greater than 35 Lots. A determination of the feasibility of installing a central sewage collection and treatment system must be made by MDEQ. A copy of the response from MDEQ concerning the feasibility study must be attached. If a central collection and wastewater system is not feasible, then please attach a copy of the Letter of General Acceptance from the State Department of Health or certification from a registered professional engineer that the platted lots should support individual onsite wastewater disposal systems.

INDICATE ANY LOCAL STORM WATER ORDINANCE (I.E. MS4) WITH WHICH THE PROJECT MUST COMPLY:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

William Grace Prewett
Signature of Applicant¹ (owner or prime contractor)

1-4-24
Date Signed

WILLIAM GRACE PREWETT
Printed Name¹

PRESIDENT
Title NJ

¹This application shall be signed as follows:

- For a corporation, by a responsible corporate officer.
- For a partnership, by a general partner.
- For a sole proprietorship, by the proprietor.

For a municipal, state or other public facility, by principal executive officer, mayor, or ranking elected official

Please submit the LCNOI form to: Chief, Environmental Permits Division
MS Department of Environmental Quality, Office of Pollution Control
P.O. Box 2261
Jackson, Mississippi 39225

Electronically: <https://www.mdeq.ms.gov/construction-stormwater/>

PRIME CONTRACTOR CERTIFICATION

LARGE CONSTRUCTION GENERAL PERMIT

Coverage No. MSR10 _____ County _____

(Fill in your Certificate of Coverage Number and County)



MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY

By completing and submitting this form to MDEQ, the prime contractor is certifying that (1) they have operational control over the erosion and sediment control specifications (including the ability to make modifications to such specifications) or (2) they have day-to-day operational control of those activities at the site necessary to ensure compliance with the SWPPP and applicable permit conditions.

The owner(s) of the property and the prime contractor associated with regulated construction activity on the property have joint and severable responsibility for compliance with the permit. Notwithstanding any permit condition to the contrary, the coverage recipient and any person who causes pollution of waters of the state or places waste in a location where they are likely to cause pollution of any waters of the state shall remain responsible under applicable federal and state laws and regulations and applicable permits.

PRIME CONTRACTOR INFORMATION

PRIME CONTRACTOR CONTACT PERSON: William Bruce Prewitt PHONE NUMBER: (901) 485-8997

PRIME CONTRACTOR COMPANY: Prewitt Environmental LLC

PRIME CONTRACTOR STREET (P.O. BOX): P.O. Box 356

PRIME CONTRACTOR CITY: Southern STATE: MS ZIP: 38671

E-MAIL ADDRESS: Bruce@BardPermit.com

OWNER INFORMATION

OWNER CONTACT PERSON: _____ PHONE NUMBER: (____) _____

OWNER COMPANY NAME: _____

PROJECT INFORMATION

PROJECT NAME: _____

DESCRIPTION OF CONSTRUCTION ACTIVITY: _____

PHYSICAL SITE ADDRESS (If the physical address is not available indicate the nearest named road. For linear projects, indicate the beginning of the project and identify all counties the project traverses.)

STREET: _____

CITY: _____ COUNTY: _____

I certify that I am the prime contractor for this project and will comply with all the requirements in the above referenced general NPDES permit. I further certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

William Bruce Prewitt
Prime Contractor Signature¹

6-1-24
Date Signed

William Bruce Prewitt
Printed Name¹

President
Title

¹This application shall be signed as follows:
- For a corporation, by a responsible corporate officer.
- For a partnership, by a general partner.
- For a sole proprietorship, by the proprietor.
- For a municipal, state or other public facility, by principal executive officer, mayor, or ranking elected official.

This Prime Contractors Certification form shall be submitted to:
Chief, Environmental Permits Division
MS Department of Environmental Quality, Office of Pollution Control
P.O. Box 2261
Jackson, Mississippi 39225

**Keep a Copy Available at the Permitted Facility or Locally Available
Submit the Inspection Reports Only if Requested by the Mississippi Department of Environmental Quality (MDEQ)**

**LARGE CONSTRUCTION GENERAL PERMIT
SITE INSPECTION AND CERTIFICATION FORM
COVERAGE NUMBER (MSR10 _ _ _ _)**



INSTRUCTIONS

Results of construction storm water inspections required by ACT6 of this permit shall be recorded on this report form and kept with the Storm Water Pollution Prevention Plan (SWPPP) in accordance with the inspection documentation provisions of ACT9 of the this permit. Inspections shall be performed at least weekly for a minimum of four inspections per month. The coverage number must be listed at the top of all Inspection and Certification Forms.

COVERAGE RECIPIENT INFORMATION

OWNER/PRIME CONTRATOR NAME: _____

PROJECT NAME: _____

PROJECT STREET ADDRESS: _____

PROJECT CITY: _____ **PROJECT COUNTY:** _____

OWNER/PRIME CONTRACTOR MAILING ADDRESS: _____

MAILING CITY: _____ **STATE:** _____ **ZIP:** _____

CONTACT PERSON: _____ **CONTACT PHONE NUMBER: (_____)** _____

EMAIL ADDRESS: _____

INSPECTION DOCUMENTATION

DATE (mo/day/yr)	TIME (hr:min AM/PM)	ANY DEFICIENCIES? (CHECK IF YES)	INSPECTOR(S)
		<input type="checkbox"/>	
		<input type="checkbox"/>	
		<input type="checkbox"/>	
		<input type="checkbox"/>	
		<input type="checkbox"/>	
		<input type="checkbox"/>	

Deficiencies Noted During any Inspection (give date(s); attach additional sheets if necessary): _____

Corrective Action Taken or Planned (give date(s); attach additional sheets if necessary): _____

Based upon this inspection, which I or personnel under my direct supervision conducted, I certify that all erosion and sediment controls have been implemented and maintained, except for those deficiencies noted above, in accordance with the Storm Water Pollution Prevention Plan (SWPPP) and sound engineering practices as required by the above referenced permit. I further certify that the LCNOI and SWPPP information is up to date.

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment for knowing violations.

Authorized Signature

Date

Printed Name

Title

Request for Termination (RFT) of Coverage



LARGE CONSTRUCTION GENERAL PERMIT
Coverage No. MSR10 _____ **County** _____
(Fill in your Certificate of Coverage Number and County)

This form must be submitted within thirty (30) days of achieving final stabilization (see ACT10, S-1 of general permit). Failure to submit this form is a violation of permit conditions.

The signatory of this form must be the owner or operator (prime contractor) who is the current coverage recipient (rather than the project manager or environmental consultant).

(Please Print or Type)

Project Name: _____

Physical Site Street Address (if not available, indicate nearest named road): _____

City: _____ **County:** _____ **Zip:** _____

Coverage Recipient Company Name: _____

Street Address / P.O. Box: _____

City: _____ **State:** _____ **Zip:** _____

Coverage Recipient Contact Name and Position: _____ **Tel. #:** (____) _____

Has another owner(s) or operator(s) assumed control over all areas of the site that have not reached final stabilization?

RESIDENTIAL SUBDIVISIONS:

- YES. A copy of the Registration Form for Residential Lot Coverage for each lot or out parcel that has been sold and a site map, indicating which lots have been sold, are attached.**
- NO. Coverage may not be terminated until all areas have reached final stabilization.**

COMMERCIAL DEVELOPMENT:

- YES. A copy of the site map, indicating which out-parcels have been sold, is attached.**
- NO. Coverage may not be terminated until all areas have reached final stabilization.**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment for knowing violations. I understand that by submitting this Request for Termination and receiving written confirmation, I will no longer be authorized to discharge storm water associated with construction activity under this general permit. Discharging pollutants associated with construction activity to waters of the State without proper permit coverage is a violation of state law. I also understand that the submittal of this Request for Termination does not release an owner or operator from liability for any violations of this permit or the Clean Water Act.

Authorized Name (Print) Telephone Signature Date Signed

¹This application shall be signed according to the General Permit, ACT11, T-7 as follows:

- For a corporation, by a responsible corporate officer.
- For a partnership, by a general partner.
- For a sole proprietorship, by the proprietor.
- For a municipal, state or other public facility, by principal executive officer, mayor, or ranking elected official.

After signing please mail to: Chief, Environmental Permits Division
MS Department of Environmental Quality, Office of Pollution Control
P.O. Box 2261
Jackson, Mississippi 39225